



**Design Guidelines  
Castle Rock, CO  
80104**

# Overview

The following design guidelines have been created to ensure that all improvements at Timber Canyon will protect and enhance the natural beauty of the existing landscape, maintain a quality design theme and protect and enhance property values. These guidelines are supplemental to the Declaration of Covenants, Conditions and Restrictions (CC&R's) for Timber Canyon. The guidelines are to be used by all Master Builder Owners ("Owners") who are involved in any new development, additions, landscaping, or changes and alterations at Timber Canyon. The guidelines will be administered and enforced by the Design Review Committee ("Committee") in accordance with the procedures set forth in this document and the CC&R's.

On July 26, 2001, this document has been adopted by the Design Review Committee and may be amended from time to time by the Committee. Note general review and miscellaneous revisions, October 22, 2002. Before submitting plans, it is the responsibility of each Owner to obtain and review a copy of the most recently revised Design Guidelines.

## TABLE OF CONTENTS

### Introduction

- Mission Statement
- Timber Canyon Vision
- Application of Design Guidelines

### Site Design Guidelines

- Site Design Philosophy
- Building Envelope
- Setbacks
- Building Siting
- Driveways
- Grading & Drainage
- Parking & Garages
- Exterior Equipment & Satellite Dishes
- Easements & Utilities
- Recreational Facilities
- Signage

### Landscape Design Guidelines

- Landscape Design Philosophy
- Landscape Planning Areas
- Landscape Maintenance
- Walls, Fences & Privacy Screening
- Terraces, Patios & Decks
- Walkways & Paths
- Swimming Pools, Saunas & Tubs
- Paving Materials & Lighting

### Architectural Design Guidelines

- Architectural Design Philosophy
- Building Size & Height
- Building Materials
- Architectural Design Elements
- Service Areas

## Design Review Process

- Get to Know Your Site
- Choose an Architect
- Schematic Plan
- Construction Drawings
- Site Staking
- Landscape Plans
- Building Permit
- On-Site Inspections
- Project Completion
- Changes in Plans or Materials
- Governing Regulations

## Construction Regulations

- General Conditions
- Improvement Survey
- Construction Access
- Trailer & Temporary Structures
- Material & Equipment Storage
- Daily Operations
- Dust & Noise Control
- Excavation
- Debris & Trash Removal
- Construction Vehicles & Parking
- Portable Toilets
- Signage
- Fire Protection
- Pets
- Utilities

## Appendix

## INTRODUCTION

### Mission Statement

Timber Canyon is a community carefully planned to be respectful to the extraordinary beauty and history of its surroundings. It is the intent of the developers of Timber Canyon that the natural character and beauty of the site be protected. Equally important is the need to be sensitive to the design character and continuity of the homes in Timber Canyon. It is therefore, the purpose of the *Timber Canyon Design Guidelines* to ensure that the future of the Timber Canyon Master Plan is carried out with responsible architectural and landscape design that is both sensitive and harmonious with the natural beauty of the setting.

### Timber Canyon Vision

Timber Canyon's natural setting truly exemplifies the majesty of living in Colorado. Timber Canyon is nestled on the northwest face of a cliff side formation, amidst the rolling slopes and rocky outcroppings of the foothills. The entire area is covered by stands of mature Ponderosa Pines, Gambel Oak, Mountain Mahogany and native grasses. One of the primary goals is to recognize and enhance the natural beauty of the area. The other fundamental goal is to create and promote an architectural vernacular that encourages *timeless design* and landscaping that not only conveys an image, but also assures harmony and simplicity between the structures and their settings. While all the residences at Timber Canyon are to reflect the vernacular as outlined within, it is the goal that each of the residences at Timber Canyon be individually expressed. This is to be achieved by unique and creative design solutions, which avoid a repetitive copy of precedent structures.

### Application of Design Guidelines

The Timber Canyon Design Guidelines have been prepared to protect the investment of all that come to share in the beauty of this neighborhood. The design guidelines shall form a legally binding agreement between the developer and future owner, and thereby apply to all persons who construct, refinish or alter any part of the exterior of any building, or make other improvements upon, under or above any property, create fill, make any change in the existing surface contour or drainage, or install any utility line thereon. The Timber Canyon Design guidelines are administered and enforced by the Timber Canyon Design Review Committee.

The goal of the committee is to encourage quality design appropriate to regional context, to foster harmony between the architecture and its site, and continuity between the individual homes.

In accordance with the Timber Canyon Declaration of Protective Covenants, Conditions & Restrictions; these Timber Canyon Design Guidelines have been prepared and adopted by the Timber Canyon Design Review Committee and may be amended by the board as required. It is the responsibility of each applicant to obtain the most current copy of the Timber Canyon Design Guidelines.

## **Site Design Guidelines**

Site Planning is the integration of the architecture and landscape improvements within the natural landscape, and is of paramount importance at Timber Canyon. The intent of this section is to ensure that adverse impact to the land is minimized as a result of careful siting of improvements combined with the creation of natural areas, which will remain free of development. Due to the topography inherent within Timber Canyon, site planning is a particularly important part of the design process. A properly designed site plan must be developed in collaboration with the architecture and landscape design of the site.

The overall form, massing and location of a structure should be designed in response to the natural landforms and topography of the site. On sloping sites, the structure should be designed to step with the site's natural contours wherever possible. In order to minimize site-grading, level changes may be designed into the structure to mitigate one singular building mass interrupting the landscape. Building forms and rooflines should also relate to the surrounding landforms and natural slopes. Careful consideration must also be given to the siting of driveways and other access when locating the structure on the site.

## **Setbacks**

All buildings shall be located within the required property setback lines as mandated by The Town of Castle Rock, Colorado. As such, there are no additional setback requirements for lots in Timber Canyon. Minimum setbacks are 18 feet at front, 5 feet sides, and 20 feet rear. Because of the terrain, designers are encouraged to increase the side setbacks to 8-10 feet to mitigate the grading between homes.

## **Building Siting**

Most building sites in Timber Canyon have some degree of slope, and therefore the locations of structures and site improvements are a key component of the design process. Building form, orientation and massing should respond to natural landforms, drainage patterns, topography, vegetation, views and solar exposure. The location and design of structures should minimize the disturbance to existing vegetation on the site. Building footprints that run perpendicular to the general slope of the site should be avoided due to excessive earthwork and potential erosion. Access should also be considered during the site planning and architectural design process. Effective siting of the structure can mitigate the need for extensive cut-and-fill slopes to accommodate site access.

## **Driveways**

Site access considerations should be made during the site planning process because of the close relationship between the access drive and the building footprint. In order to minimize site disturbance and grading, the access driveway's location and grade may dictate the finished floor elevation of the home. Driveways shall be designed to follow site contours as much as possible, and to minimize impacts upon significant plant materials, rock outcroppings and natural drainage patterns. Portions of the driveway, drainage or landscaping within the street right-of-way are the responsibility of the owner. Adequate clearance for snow removal should also be considered. The driveway shall meet the road at no less than a 75-degree angle. Indirect or side-load access to the garage is preferred to reduce the obstruction of the garage doors.

Grading and modifications to the existing site should be minimized to the greatest extent possible. Recommended maximum driveway grades are 2-3% for the first 20 feet from the roadway or garage, and 10% on all other portions of the driveway. In addition, driveways should be designed with a 2% negative grade from the centerline of the road to adjacent ditch-line. The Design Review Committee may grant exceptions in areas where extreme topography would preclude incorporation of these standards.

Where required, roadway drainage shall be achieved by the installation of a culvert under the driveway. The required size and configuration shall be engineered and constructed at the owner's expense. When culverts are required, culvert ends shall be cut to match the adjacent slope. If end walls are used, they shall be constructed of stone masonry or concrete faced with stone masonry to match building materials. Flared, exposed metal ends are unacceptable.

Enrichment of driveway surfaces and walkways is encouraged. The use of patterned, colored or stained concrete, pavers, and/or additional scoring are a few of the acceptable solutions.

## **Grading & Drainage**

Site development and construction shall minimize impacts upon existing natural landforms and drainage patterns. Under no circumstances shall the design and construction of improvements on a lot cause a condition that leads to soil erosion. Erosion control measures are outlined in the Construction Regulations section of this document.

The modification of existing contours shall be limited to the extent necessary to accommodate the development of a site. In order to minimize site disturbance, all improvements must be designed in response to the existing contours of the site. With the exception of grading for site access, all grading should be limited to areas within the building envelope. Cut-and-fill slopes should be kept to a minimum by utilizing the natural contours of the lot in the design of structures and site improvements. The maximum allowable cut is twelve feet. When cut-and-fill slopes cannot be avoided, they shall be feathered into the existing grade and replanted to blend into the existing vegetation. Final grading of long slopes should be designed to avoid unnaturally broad, flat surfaces. Allowable slopes for cut-and-fill banks should be based upon site-specific soil conditions, but in no case should they be greater than a 3:1 slope. "Over-lot grading" is strictly prohibited.

The location of structures or other improvements on the site shall not adversely impact or disrupt the naturally existing drainage patterns on the site. Drainage patterns may be modified, but all

modifications require approval of the Design Review Committee. Owners are responsible for controlling the drainage resulting from the development of the site and may not direct water onto another site, unless such a diversion is located within an established drainage easement.

Runoff from impervious surfaces such as roofs, driveways or other paved areas, shall be diverted away from building foundations. Drainage shall be directed to natural or improved drainage channels, or dispersed into shallow sloping, planting areas for retention. Storm drainage shall not connect into sanitary sewer systems. Improvements to minor drainage ways or the development of new drainage swales to accommodate development shall be constructed as natural grass-lined swales with a minimum of 2% gradient. Exposed drainpipe or impervious, man-made swale lining material is unacceptable. Due to the rural nature of this development, curb and gutter along driveways is not permitted.

## **Parking & Garages**

A minimum of five parking spaces shall be provided for each residence at Timber Canyon. All parking shall be located within the building side setback and no closer than 10 feet to rear property line.. At least three of the required parking spaces shall be fully enclosed within a garage, and at least two on the exterior to accommodate visitors. The minimum size of indoor parking spaces shall be 10' X 20' and outdoor parking spaces shall be 9' X 18'. The driveway may count as the outdoor parking space(s).

Garages should be attached or semi-attached to the main residence via an area such as a breezeway, etc. The design of the garage shall be homogenous with the architecture and materials of the main residence.

## **Exterior Equipment & Satellite Dishes**

All outdoor mechanical and electrical equipment, such as metering devices, transformers and air-conditioning units shall be concealed to the fullest extent possible from the view of adjacent lots, rights-of-way, and public spaces. Enclosures or "screens" blending with the architecture of the home or landscape material shall be considered adequate. Window or wall-mounted air-conditioning units are not permitted.

The Design Review Committee will approve satellite dishes, provided that the dish is concealed from view to the fullest extent possible from the view of adjacent lots, rights-of-way, or public spaces. The dish shall be painted to blend with its immediate surroundings. In addition, landscape materials shall be utilized to screen the dish. The use of mesh dishes is strongly encouraged. Rooftop installations and dishes larger than 36" in diameter will not be permitted.

## **Easements & Utilities**

Utility and drainage easements have been established across each lot to facilitate drainage, the installation and maintenance of all public utilities. No grading, site improvements, or landscape materials that may result in damage or interference to these utilities will be permitted within these easements. Landscape plans should, however address and indicate the replanting of acceptable landscape materials within areas of these easements disturbed during installation of individual utilities.



Connections to all utilities including water, sanitary sewer, gas, electricity, telephone and cable television shall be installed underground from existing trunk lines. Utility connections from main service lines to individual buildings shall be located to minimize disruption of the site and existing vegetation. The drilling of individual wells will not be permitted.

## **Recreation Facilities**

All recreation facilities, structures and improvements shall be located within the building setback except they may encroach 10 feet into the rear setback with DRC approval. Permanent or temporary structures to cover recreational facilities are not permitted. Open structures, such as gazebos, loggia, or pergola are acceptable. Walls, fences or landscaped screens may be required to reduce the visual impact of recreational facilities from adjacent properties. Basketball backboards and hoops may be permitted, provided they are not attached to the building and are not visible from rights-of-way.

Tennis Courts are not permitted at Timber Canyon due to the nature of the topography, and the extensive grading that would be required to create a sufficient surface within the building envelope. Colors and finishes on recreation equipment and structures should be in keeping with the overall scheme of the residence. Bright, primary colors and reflective or high-gloss finishes are not appropriate.

## **Construction Signage**

One temporary construction/for sale sign shall be permitted on each site, see Appendix G for design requirements. In order to facilitate the delivery of construction materials, the construction/for sale sign shall be visible from the adjacent rights-of-way, but in all cases will be located within the property boundary.

## **Mailbox/Address Identification**

A common address mailbox will be required at the driveway entrance to each home-site. In order to ensure continuity along Timber Canyon's roads, the Timber Canyon Board at the owner's expense will obtain the address monument. Refer to Appendix I for a detailed drawing of the address monument. All other signage must have approval of the Design Review Committee prior to installation.

# LANDSCAPE DESIGN GUIDELINES

## Landscape Design Philosophy

The goal of the landscape design for Timber Canyon is to integrate the architecture and improvements with the high plains, sub-alpine terrain of this region. In addition, the landscape should reflect the history and heritage of those who settled in this region. This western heritage is simple, direct and picturesque. Like the architectural character, this landscape design should further the natural characteristics of the site through the use of native materials that are an extension of their setting. Each site in Timber Canyon is unique and it is the intent of the landscape guidelines to preserve these special attributes, and to the fullest extent possible, minimize adverse impacts to the natural environment. Owners should realize that Timber Canyon's setting results in extreme differences in climate from season to season. The variety of plants that can be expected to flourish is limited. It is the responsibility of the Owner and their designers to respond accordingly in the landscape design of each residence.

To this end, the landscape plan must address two diverse and distinctive landscape zones, and the creation of a defined edge between these two zones. The first of these, the "native landscape zone," generally includes portions of the lot around the perimeter of the lot. The native landscape zone is to remain predominantly undisturbed during site development. Re-vegetation of the native landscape zone should erase all traces of disturbance and recreate the character of the site using indigenous plant species. The second area in contrast is the "manicured landscape zone," and generally includes areas immediately around the home. This area allows for a more formal landscape treatment immediately adjacent to the residence. Ornamental plants and manicured lawns are permitted, however such features should be minimized in the interest of water conservation, and maintaining the natural character of the site. The composition of the plant materials should consider present and mature size, framing of optimum views, relationship to the architecture and other site textures, and judicious use of color and texture.

## Native Landscape Zone

The native landscape zone is generally defined as a portion of the lot around the perimeter of the lot. The purpose of this area is to maintain the contiguous landscape zone throughout Timber Canyon. In addition, the native landscape zone can extend into the manicured landscape zone to reinforce the relationship between the natural and built environment. With the exception of the installation of a driveway, the native landscape zone should remain undisturbed during all construction activities. Unless specifically approved by the Design Review Committee, all construction, excavation, cut-and-fill slopes and other forms of disturbance within the native landscape zone should be held to a minimum.

All portions of the native landscape zone that are disturbed during construction shall be re-vegetated with native plant materials indigenous to Timber Canyon. In addition, the native landscape zone may continue to the edge of new structures. The introduction of non-indigenous plants approved for use in Timber Canyon can be found in Appendix E. These plants should be selected according to microclimatic conditions, naturally occurring vegetation patterns, plant

geography, plant associations and plant coverage patterns of existing vegetation on the site. Temporary above ground irrigation systems will be permitted for the sole purpose of re-establishing vegetation in the native landscape zone. All temporary systems shall be removed after one growing season, unless additional irrigation time is required to re-establish the native species. Such extensions will require prior approval of the Design Review Committee. Once native plant species have been re-established, the irrigation shall be reduced gradually allowing the vegetation to acclimate to the natural rainfall conditions. The implementation of low-water plant materials and moisture sensors on irrigation systems is highly encouraged. Low water “xeriscape” plant species have been designated in Appendix E and xeriscape grass seed mixtures can be found in Appendix F.

## **Manicured Landscape Zone**

The manicured landscape zone is comprised of lawns, planting beds, hardscaped areas and other formal landscape improvements. All such improvements shall be located immediately around the home, unless otherwise approved by the Design Review Committee. Acceptable plant materials within the manicured landscape zone should be, low water usage plants adaptable to USDA Zone 4, as defined by the 1990 USDA climate map. These species can be found in Appendix E. Approved plant materials for manicured areas also include ornamental species. Appropriate locations for ornamental plantings are adjacent to the residence and outdoor living spaces such as patios, decks and entries. Annuals and ornamental plantings are not appropriate near the perimeter of the site. Generally, native and indigenous plant species should be the predominant landscape feature visible from adjacent properties, rights-of-way, or public spaces. Due to the relatively short growing season in Colorado, large-caliper deciduous trees and mature evergreens are strongly recommended.

Permanent underground irrigation systems are permitted within the manicured landscape zone, provided that such areas do not exceed 5,000 square feet per lot. Property owners are encouraged to provide a diverse mix of vegetative types within manicured areas including, shrubs, annual/perennial beds, trees, container plants and manicured grasses. The remaining area allowed for underground irrigation systems may be used to permanently support native plantings adjacent to manicured landscape. In order to conserve water, owners are encouraged to limit the use of irrigation by minimizing irrigated area, utilizing moisture sensors and other moisture control equipment in lieu of timing devices, and by planting low water, low maintenance plant species. With the exception of starter systems as described above, the use of above ground irrigation equipment will not be allowed.

Back-flow preventors are required with all irrigation systems and remote electrical control valves shall be installed in valve boxes. Irrigation controls shall not be visible on the exterior of any structure. The use of water conserving drip irrigation systems, drip zones or “pop-up” heads is highly recommended. Irrigation systems shall be designed so during peak periods, irrigation can be completed between the hours of 8PM and 7AM.

## **Transition Zone**

The transition zone defines the junction of the manicured landscape zone and native landscape zone. The intent of this transition is to develop and delineate a very clear boundary between zones and fully contain the plantings and species within the manicured area. While creating delineation, this delineation should be subtle and sympathetic to both primary zones. This delineation may be achieved by the use of stone edging, site walls, terraces or planting beds.

## **Landscape Maintenance**

All trees, shrubs, groundcovers, grasses and the irrigation system must be maintained at a level consistent with the standards of Timber Canyon. All dead or dying plants or grasses shall be replaced promptly. Preserving the native vegetation and systems is both cost-effective and ecologically sound. The Timber Canyon area contains well-drained soils, short growing seasons and dry summers. These conditions combine to make restoration of trees and shrubs difficult. The best strategy is to minimize disturbance. It is recognized that in certain instances it will be necessary to modify selected areas of Gambel Oak to provide solar access, enhance views and accommodate homes and driveways. Site plans should, however, strive to integrate buildings and driveways into the existing landscape with minimal disturbance to vegetation. Landscape site plans should indicate the areas of Gambel Oak that will be disturbed or removed during the construction or landscaping process. Removal or modification of any existing landscape will require prior approval by the Design Review Committee.

No rocks, plants, trees, soils, etc. shall be removed from any portion of Timber Canyon without written permission from the Design Review Committee.

## **Site Walls, Fences & Privacy Screening**

Retaining walls, low landscape walls, fences and other screening elements are encouraged to facilitate changes in grade, define exterior living spaces and to transition from manicured to native landscape areas. Location and orientation of these types of features should be determined based upon the topography, landforms, or other improvements on the site. In no case shall site walls, fences or screening elements follow the property lines of a given site. In no case will any fenced area larger than 500 square feet be allowed. Under no circumstances shall fences interfere with the migration of wildlife, existing game runs, or winter range areas.

The only "standard" type of fencing, which will automatically be approved without additional architectural submittal, will be an open split rail type of fencing constructed from rough sawn timber. The height will be a maximum of 32" with 6x6 vertical posts and two 4x6 cross rails. See the Open Rail Fence drawing in Appendix I. Black vinyl coated mesh may be placed in the open areas of this fence for pet restraint.

Materials used in the construction of site walls shall be consistent in type, color and texture to materials used in the construction of the architecture. Site walls should be constructed of dry stack stone, stone masonry, or a stone masonry veneer on a concrete substrate. The use of brick, stucco or wood for the construction of site walls will not be allowed. Stone should be indigenous to the region and should be similar in color and form to stone found within Timber Canyon. Large irregularly shaped boulders may also be considered for use in site walls. Site walls should emerge from the ground to convey a sense of permanence and strength.

The maximum vertical face for individual retaining walls shall be four feet above finished grade, unless otherwise approved by the Design Review Committee. Terraced retaining walls are recommended for challenging grade changes, and should be designed with a minimum of three feet from the inside face of the lower wall to the outside face of the upper wall. This will allow for the use of planting materials to soften the appearance of mass. Freestanding site walls shall not exceed three feet in height above finished grade.

The use of living fences is highly recommended in lieu of traditional fencing and screening materials; if necessary however, wood may be used for fencing and privacy screening. Ornamental iron fencing will be allowed when used as an accent material, gate or other similar feature. In addition, dark colored, welded wire mesh fencing may be used only for enclosing dog runs or kennels. Such facilities must be immediately adjacent to the residence, shall not exceed 180 square feet. The maximum allowable height for dog runs and kennels, and adjacent screening is six feet in height above finished grade. All other fencing is limited to thirty-two inches (32") above finished grade.

## **Terraces, Patios & Decks**

Terraces, patios and decks can serve as an effective transition between the mass of the building and topography, vegetation, and other natural features of the site. The location, orientation, and size of these elements should be determined based on site characteristics, as well as the proximity to interior living spaces. Materials of terraces, patios and decks should be homogenous in type, color and texture to the materials of the residence. Acceptable paving materials for terraces and patios include, flagstone, sandstone, flat cobbles, vitreous clay pavers, tinted or stained concrete and patterned concrete. Porous stone such as claystone, slate, and andoquin are unacceptable for paving materials due to their inability to withstand the severe freeze-thaw cycles in Colorado.

Great care should be taken when designing decks above grade or on sloping sites to assure that functionally and aesthetically they are integrated into the architecture and landscape. All decks shall be designed so they are a sensitive extension of the residence or the landscape; preferably both. The support column and the underside of the decking material shall be clad or finished to match the adjacent materials of the residence. Public view of the deck bottom shall be avoided. Cantilevered decks should be completely integrated into the overall design. Supporting structure for "post and beam" type decks should convey a mass and permanence compatible with the architecture of the residence, and connect to the earth with substantial materials such as stone masonry or heavy timber columns.

## **Walkways & Paths**

Minor walkways and paths for circulation between structures, gardens, and across the site are permitted provided they are very organic in form and material to blend into the surrounding environment. Paths should follow naturally occurring topography or drainages to minimize the impact on the native landscape. Walkways shall be a maximum of four feet in width and may be constructed of concrete if located immediately adjacent to the residence. Other pathways through gardens and landscape areas shall be a maximum of three feet in width and be constructed of vitreous clay pavers, crushed rock, or flagstone stepping-stones. Cedar chips and bark for maintenance reasons are discouraged.

## **Swimming Pools, Saunas & Tubs**

Incorporations of a swimming pool into the site design will require the approval of the Design Review Committee and must be located completely within the building setbacks except may encroach 10 feet into rear setback. Swimming pools shall be designed to complement the residential structure and should be sited immediately adjacent to the residence to minimize the visual impact on adjacent properties, rights-of-way or public areas. If, in the opinion of the Design Review Committee, the placement of a swimming pool on a site would negatively impact views or the use of adjacent lots, the application will be denied. Saunas and hot tubs will be permitted within the building setbacks. However, the design must be integrated with the architecture of the residence, and must be visually screened from adjacent properties, rights-of-way or public areas by landscaping and/or fencing.

## **Driveway Paving Materials**

Driveway surface materials should be compatible with the overall design as well as the diverse climate present in Timber Canyon. Extensive freeze-thaw cycles, snow removal, and soil instability require that any paving material perform under these harsh conditions. Use of vitreous clay pavers for paving is encouraged; however, concrete, asphalt, and flat cobbles are acceptable alternatives. The construction and maintenance of the entire driveway shall be the responsibility of the individual homeowner.

## **Site Lighting**

The intent of the site lighting guideline is to maintain the rural character throughout Timber Canyon, protect neighboring properties from intrusive lighting, and preserve the natural beauty of the night sky. Exterior lighting shall be limited to identification signs and lighting dedicated to security and personal safety. Driveways, porches, patios, pathways and entrances may be illuminated. In all cases, down lighting is required to reduce glare and ambient light pollution. All site lighting shall be designed such that a direct light source is not visible from adjacent properties, rights-of-way or public areas. Flood lighting, sodium vapor, mercury vapor, or other harsh HID light sources will not be permitted. A single or pair of carriage lights with translucent glass is permitted at the front entry when appropriate to the architecture.

The use of other than white or pale yellow exterior lights will require specific approval of the Design Review Committee. The Design Review Committee also requires final approval of the proposed illumination plan. Exterior landscape lighting, up lighting of trees and of decorative holiday lighting is only allowed between December 1st and January 10<sup>th</sup> annually.

## **Architectural Design Guidelines**

The architecture at Timber Canyon should draw influence from a respect for the natural environment and the regional heritage. The introduction of development into this pristine setting requires that the architecture be complimentary, blend into the landscape and not overpower the site. The architecture should be responsive to the topography and landforms unique to each site.

The intent of the architectural design guidelines is not to require a particular design style, but rather require that the owner and their design professionals work to achieve a sensitive, aesthetic, and environmentally responsive design solution from the initial program through the completion of construction. This solution may be rooted in the rich historical vernacular present in the Colorado Front Range. As stated previously, this vernacular will only be enhanced by sensitive placement within the natural landscape dominating the site. This is to be achieved by encouraging a timeless architecture and landscape design that not only conveys an image, but also assures harmony and simplicity between the structures and their settings. While all the residences at Timber Canyon are to reflect this vernacular as outlined herein, it is the goal that each of the residences at Timber Canyon be individually expressed. Diverse architectural character is to be achieved by unique and creative design solutions, the use of quality, natural materials, with complimentary color and forms that represent the heritage of Colorado and avoid a repetitive copy of precedent structures. The architecture is further enriched by handcrafted details, which convey an historic image of the vernacular context in this region. Details may be expressed in wrought ironwork, stone masonry, carved stone, carved wood, wood joinery and trim, and etched or cut glass.

There are certain eclectic, stylistic interpretations that may be deemed inappropriate. The revival of these eclectic styles, taken completely out of their historic context will be unacceptable in Timber Canyon. However, it is foreseeable that the incorporation of certain architectural elements from these styles into a successful design solution is possible. Therefore, in order not to exclude any viable design proposal, each design will be reviewed upon its own merit and interpreted by the Design Review Committee.

In certain instances, specific design elements are recommended for functional and/or aesthetic reasons. The design and construction of those elements are solely the responsibilities of the owners, their consultants. Timber Canyon shall accept no liability incurred by the incorporation of these elements into the owner's design.

## **Building Size & Height**

The visual scale of buildings is an important element to the overall image of the Timber Canyon community. In order to maintain a scale of building appropriate to its setting, large monumental facades should be avoided. The building forms in Timber Canyon should be understated and simple with extended eaves on pitched gables or hipped roofs. Secondary building forms such as

entries, porticos, dormers, chimneys and balconies can be incorporated to further manipulate the mass of the building.

In order to relate the building forms and massing to the site, and avoid severe or disruptive building profiles in the landscape, building forms should place emphasis on horizontal massing. These lower profile elements should follow the natural terrain of the site to further integrate with the landforms. Exposed building profiles atop ridgelines, and sharp angular forms in contrast to the natural slope should be avoided.

All two-story Residences will have a minimum of 1700 gross square feet on the main level, not including the garage. Ranch-style residences will have a minimum of 2200 gross square feet on the main level, not including the garage. The gross square footage shall be calculated from the outside finish of the building's exterior. The total building square footage on a site shall be limited by the building envelope and building height.

Building height limits have been established to promote buildings that are compatible with surrounding natural features while not detracting from views to and from neighboring properties. The maximum height of buildings in Timber Canyon shall be 35 feet. This regulation is not to imply that all portions of a building are designed to a height of 35 feet, rather, the maximum height of a building should be designed in relation to the overall composition of the building, and the natural characteristics of the site. Building height will be determined as described by the Town of Castle Rock zoning regulations.

Finished grade for the purpose of calculating building height is defined as the final elevation of the surface material (soil, paving, decking, etc.) adjacent to the building at the specific interval point as indicated on the Architect's site plan. Berming or manipulating grade at the building perimeter for the purposes of satisfying the building height requirements is strictly prohibited. Refer to Castle Rock regulations for the method of determining building height.

## **Exterior Building Materials**

One of the most important elements in establishing architectural continuity in Timber Canyon is the exterior materiality. The incorporation of a limited range of natural, organic materials and colors will reinforce the rusticated vernacular, and will complement the natural surroundings. Because of the need to reinforce the architectural relationship to its native setting, only stone brick accents (including quality faux stone), stained wood and stucco may be used on the building exterior. Stone should be used to ground and express the mass and permanence of the building; heavy timber or log framing may be used for structural form; real wood siding or stucco is predominantly a sheathing material; and wood trim can provide the accent to detail areas and closure of soffits, eaves, fascias, rafters as well as window and door framing. The use of material in any case, shall accurately convey the architectural and structural integrity of the residence. The composition and specific application of these materials is further described in the following sections.

**Stone:** The use of traditional stone masonry is strongly encouraged. Throughout history, no other material has displayed the longevity and permanence of stone. Stone may be used as a primary structural element or as a finely cut veneer, with a diverse range of applications between. Stone should be used to ground the base of the building, and provide a physical link to its surroundings. This is why native stone quarried from this region is encouraged for its



indigenous color and texture. A random stack bond, with limited surface area and rugged cleft will enhance the organic nature of the material. Round stone and river rock is not permitted due to the inherent difficulty in bonding this material as well as its absence from the Timber Canyon vicinity. All stone masonry shall have the appearance of being structurally bearing. "Synthetic stone" or other "faux stone" products are acceptable as approved by the Design Review Committee.

**Heavy Timber & Logs:** The use of heavy timber and logs in Timber Canyon is acceptable. Heavy timber and logs may be used as a rusticated method of framing structures, trusses, columns, and detailed joinery. Care should be taken in the design and detailing of heavy timber structures to express the intricacies in joinery and craftsmanship.

**Exterior Wood:** Wood siding is the most common material in the regional vernacular. It can be used very effectively to sheath a building in profiles such as shingles, clapboards, board and batten, tongue and groove, or hewn planks. Generally, no more than 60% of the building exterior (not including window glazing) should be wood siding or shingles, and in such cases should be used in conjunction with stone, timber or stucco. It is highly recommended to use siding and shingles manufactured from Western Red Cedar, Yellow Cedar, or Redwood due to the natural weather and insect resistant qualities. Wood may be left untreated to weather gracefully to a blend of colors, or treated with semi-transparent, colored stains. Clear sealers will cause premature oxidation, and blacken the wood so is therefore not recommended. In addition, the use of paint on the total mass of wood siding is also not consistent with the architectural guidelines and will be limited only to trim.

**Stucco:** Stucco may be used as an exterior material, provided that it adheres to the following guidelines. All stucco shall be a traditional "three-coat" or two-coat "hard-coat" cementitious system. Stucco shall be finished in earth-toned colors, and rough natural textures homogenous to local soils and rocks on the site. Stucco requires the placement of control joints for permanence. Care should be taken in the design phase to locate these control joints in inconspicuous areas or regulate them as part of the design. The incorporation of deeply recessed window and door returns and soft organic corners will help give mass to the building. Not more than 50% of the building exterior (not including glazing) shall be comprised of stucco, and it is strongly encouraged to be used in conjunction with stone at the base of the building to reduce the scale of the stucco elements. Massive walls of stone or stucco should also incorporate heavy lintels and sills of stone or large timbers. These should be proportionately detailed to be structurally integral to the wall, rather than "tacked on" to the skin of the building. Stucco, like the other exterior materials, should be proportionally distributed on all four elevations.

**Exterior Trim:** The design of Timber Canyon dictates a high level of quality and craft with regard to materials and details. Details provide the opportunity to present the skill of the architect and craftsman, while beautifying the functions of the architecture. Great care shall be taken with the design and construction of these details to truly enrich the presence of the building in the landscape. Numerous areas of the building may be detailed to add further character to the architecture including windows, doors, gates, railings, chimneys, dormers, rafters, brackets, corbels, etc. Functional detailing should also be appropriately styled to be consistent with the overall character of the building.

**Prohibited Materials:** The following materials are not acceptable for aesthetic and/or functional reasons.

- Vitreous clay brick
- Concrete Masonry Units
- Pre-cast Concrete
- Plastic Materials
- Metal Siding
- Plywood
- Composition Siding
- Substandard or poorly graded lumber

## **Architectural Design Elements**

**Roofs:** Roofs are a very prominent visual element of the architecture, and as such provide a strong unifying vocabulary between buildings. The incorporation of simple arrangements of primary and secondary roof forms, moderate roof pitch, dormers and limited palette of material and color will achieve this continuity.

Roof forms should be relatively simple and limited to gable, hip and shed variations. In order to keep the visual presence of roof to a minimum; the roof shall be comprised of primary and secondary roof planes. Overhangs shall be consistent with the style of the house. The composition, scale and proportion of secondary roofs shall be compatible with the primary roof form. Flat roofs are not permitted as a primary roof element, but may be approved as a secondary roof form for entries, porte-cocheres or other signature elements.

For shed roof, no more than 40% of the total roof area may be designed as a singular plane. For gabled roofs, no more than 75% of the total roof area may be designed as a singular gable. For all sloped roofs, the pitch shall be a minimum of 4:12 and a maximum of 14:12. The roof pitch may be altered at the discretion of the Design Review Committee provided that the owner illustrates the design benefits attributed to this deviation.

Acceptable roofing materials shall consist of pre-patina or non-reflective metal; concrete tiles; slate or vitreous clay tile. All roof materials and color require approval of the Design Review Committee. Additional specific roof requirements are as follows:

- Cedar shingles and shakes are not permitted due to Castle Rock fire regulations.
- All roof vents and exterior equipment shall be collected and centralized and screened from view. Where practical, incorporation within chimneys or masses is desirable.
- Flat glass roof skylights are permitted subject to the approval of the Design Review Committee.
- All non-copper flashing shall be painted to match roof color.
- Fascias should also be reinforced to avoid cupping and rapid deterioration from freeze/thaw cycles.
- Mansard and gambrel roofs are prohibited.

**Doors & Windows:** Generally, deeply recessed and articulated doorways and windows are desirable. Careful consideration should be given to the size, number and placement of windows to achieve an effective and sensitive counterpoint to wall surfaces. Reflective glass is not acceptable. Aluminum or vinyl clad wood windows are acceptable as long as the color and finish is compatible with other elements of the building. Doors and windows should respond not only to the desired location for access or daylight and ventilation, but should also be given extensive consideration in the design of the exterior elevations. Multiple window units, transom windows and divided-lite windows are encouraged to bring down the scale and mass of large expanses of glazing. If multi-lite window units are being utilized, traditional or modern divided lites shall be used for functional and aesthetic reasons. These types of windows have a better appearance from the exterior, in keeping with the architectural character of Timber Canyon.

**Garage Doors:** In keeping with the character of Timber Canyon, garage doors shall be wood faced and finished to match the house. (Revised 12/1/03)

**Balconies & Railings:** Balconies and porches are very common within the archetype outlined within. When properly located with regard to solar exposure, they can provide an extension of the living space to the outdoors. The design of balconies and porches should be carefully integrated into the design of the building, and fit proportionately to the mass they are an extension of. Consideration should also be given to other environmental factors such as snow and wind exposure.

Railings should be translucent in character and allow light and view to pass through the balusters or pickets. Finely crafted wood or metal railings are encouraged. The use of an opaque material such as stucco will be considered.

**Foundations:** One of the primary design objectives in Timber Canyon is to closely integrate the building with the site. Foundation design is an extremely important aspect of this integration. Foundations and finished site grading should be designed and coordinated such that the building appears to grow out of the site in a balanced and visually pleasing manner. Foundation walls above finished grade must be veneered. On sloping sites, foundations should step with the contours to avoid high retaining walls or areas of exposed foundation wall. Where possible, building foundations should be designed to link with site or retaining walls for continuity.

Due to the nature of soils and geology in mountainous building sites, a site-specific geo-technical report is required for each property. The foundations, footings, retaining walls and related drainage systems will require structural design by a licensed structural engineer. Site walls less than four feet in height may not require structural design.

**Chimneys:** The addition of a masonry chimney to a home can be a very strong element from both the exterior as well as the interior. Historically, the hearth has always been the center or a main focus of the home. The Chimney should relate in form and material to the primary structure. Typically chimneys are constructed of stone masonry or stucco with cut stone or metal caps. Fireplace, furnace and stove flues should be consolidated and fully enclosed within the chimney. All exposed metal flues or pipes shall be enclosed by the chimney cap. The chimney cap is an important terminus to a chimney, and should be designed to shield the exposed flues from view, as well as to enhance the overall appearance of the chimney. All other roof penetrations shall be painted to match the roof color.

**Color Palette:** As stated previously, the goal for the architecture is to blend into its surroundings. The use of color to further reinforce this notion shall be considered. Naturally weathering materials such as cedar, redwood, copper, zinc, and stone may be left in their natural state to follow nature's course subject to DRC approval. If exterior stains are deemed necessary, they must be semi-transparent in subtle colors which accent or highlight the woods natural tones.

Accent colors can be used to bring visual interest and individual identity to the buildings. Colors that relate to the natural plants and wildflowers of the site can be effective accents. Accent colors may also be used to enhance details on the building such as trim, fascias, frieze boars, or carvings. The accent colors should compliment the overall palette of the building's otherwise natural materials. The Design Review Committee may deem overpowering, high-contrast colors unacceptable.

## **Service Areas**

The design shall incorporate adequate areas for trash containers, storage areas for patio furniture, firewood as well as maintenance and recreational equipment. Trash containers shall be designed to prevent access to wildlife and domestic animals and shall not be left outside overnight. Storage areas are required to be located in the building envelope and be screened from view. Refer to Fences and Screening in this document for specific screening guidelines.

## **Timber Canyon Design Review Process**

As an Owner at Timber Canyon, you should follow the steps outlined below if you plan to construct a residence. (An outline of this process can be found in Appendix B at the end of this section.)

### **Get to Know Your Site**

A residence at Timber Canyon should reflect the locale, creating a living environment that responds to the individual site. Because conditions vary throughout the development, you should get to know the entire project and your home-site. Walk the area, experience the views and consider the intentions of the master developer as reflected in the site plan. Together, these elements will help so shape the orientation and design of your future residence. Also review these Design Guidelines and acquaint yourself with all of the other documents that serve to regulate and guide the development of Timber Canyon.

### **Choose an Architect**

A qualified architect or designer with experience in this quality of construction must design your residence at Timber Canyon. The addition of specialized design skills and an understanding of site and environmental possibilities can be of major importance in realizing the special character and quality you want your residence to have. Be sure that your architect reads the Design Guidelines and becomes familiar with this document. In addition, your architect should be aware and follow the documents referred to in the Governing Regulation.

### **Schematic Plan**

Following a thorough review of the design guidelines and individual lot envelope study, it is time to have your architect prepare a Schematic Plan (Preliminary Plan) for your home-site. The purpose of this plan is to communicate to the Committee your design intentions. This important early review is to ensure that your initial design conforms to the concepts contained in these Design Guidelines. An early response by the Committee is intended to avert wasted time and professional fees and result from pursuing a solution in conflict with the Design Guidelines. The Schematic Plan Submittal should include the application and submittal fee. The architect shall prepare and submit a Schematic Plan submittal that includes three (3) copies of the following for reference:

1. Site plan (1/10" min. scale).
2. Floor plan and elevation (1/8" scale min.).
3. Notation of all significant vegetation. Note trees and gamble oak to be saved or removed.
4. Special landscape features such as water features, spas, decks, and patios.

Application fee is to be submitted to the Secretary of the Committee at the time of presentation of the design to the Design Review Committee.

### **Design Development Drawings:**

Based on the approved and approved with condition schematic design drawing, the architect shall prepare Design Development drawings to further refine and define the residence.

- Drawings shall include site plan at 1" = 10'-0" minimum, 1/4" scale plans, elevations, and any other drawings required to explain the intent of the design. Exterior materials and finishes shall be noted.
- Sample board (24' x 36" and at least 1/8" thick). This sample board will be retained by the Committee. The sample board must be marked with the owner's name and address. Samples must be identified with the manufacturer's name, color and/or number. This board should depict:
  1. Front elevation (at reduced scale)
  2. Roof material and color
  3. Wall material and color
  4. Exterior trim material and color
  5. Fireplace material
  6. Window material and color
  7. Exterior door material and color
  8. Stone/rock to be used
  9. Supporting photos

Changes to the Sample Board, if any, may be submitted for review at the construction drawing state. The graphic explanation may be in any medium, but must be clearly labeled with pertinent information including the document date and sheet or page number, home-site number, name, address and phone number of the owner and architect.

See Appendix B for Home Design Review and Process for further details. Note: This step maybe combined with final construction drawing at the applicant's own risk.

### **Construction Drawings:**

The architect shall prepare and submit a Construction Drawing (final plan) submittal that includes three (3) copies of the following for reference:

- Site Plan (presented at a minimum of 1" = 10'0") Indicate proposed building footprint, roof line, property boundaries and easements, utility locations, utility meter locations, existing vegetation, water feature locations, existing and proposed two foot contours, areas of cut and fill, drainage, proposed roads, driveways, patios, bridges, decks and any other proposed improvements. Indicate scale and north direction; take special precaution to clearly indicate how surface drainage is to be handled.
- Vicinity Plans (presented at a minimum of 1" = 50'0")
- Floor Plans (presented at a minimum of 1/4" = 1'0")
- Exterior Elevations and Details (presented at a minimum of 1/4" = 1'0") Indicate the exterior appearance of all views labeled in accordance with the Site Plan, height of roofs, natural and finished grade for elevations of all views. Describe all exterior materials, colors and finishes (walls, roofs, trim, chimneys, windows, doors, etc.) The elevation drawings should indicate material textures. Provide design details to sufficiently represent the visual expression of the building, exposed connections and material interfaces
- Building Sections (presented at a minimum of 1/4" = 1'0")
- Indicate building walls, floors, roof eaves and fascia detail, deck railing, interior relationships, existing and finished exterior grades and any other information to clearly describe the exterior relationships of the building.
- Indicate all existing plant material to be removed, decks, pavement, service yards, driveways, outdoor lights, signs, spa or pool locations, address identification stone.
- Construction Schedule: Include starting and completion dates of the residence, as well as the landscape work.

### **Pre-construction Conference and On-Site Staking review (optional)**

#### **Site Staking**

The submittal shall also include an actual site staking of the building corners, driveways and other improvements. In determining the proper location for each improvement, the Committee shall consider the location of existing and future improvements on adjacent sites and such other economic or aesthetic considerations, as it may deem necessary. The following provisions shall be complied with:

- The improvements shall be defined with 4-foot wood or steel stakes at corners. The outline of improvements may be required to be marked by connected string between corner stakes. Side and front parcel lines may also be required to be marked in a similar manner. The main floor elevation of the structure shall be clearly marked on the building corner stakes.
- All property corners shall be clearly marked.
- Stakeout inspections shall only be conducted at a time when the site is free from heavy snow cover.

- Driveway locations will be staked at each side of the drive at 10-foot intervals from the access road to the site.
- In addition to the access to the proposed residence, all other improvements shall also be staked.

The Design Review Committee will review the Construction Drawing submittal in detail for compliance with the Schematic Plan and to ensure that it meets the intent of the Design Guidelines. Although modifications to the Design Guidelines may be approved in certain instances, this will be the exception rather than the rule and you should be prepared to carefully document the logic behind the requested exception. Should the design be in substantial variance with the general intent of the Design Philosophy for Timber Canyon and the Schematic Plan or violate any of the Design Guidelines, disapproval may result and a revised submittal will be required.

**Landscape Plans:**

The Landscape Plan is required prior to the installation of any landscaping. This plan should also indicate the locations of three (3) large-caliper specimen trees to be installed prior to the certificate of occupancy. Upon issuance of final certificate of occupancy, the applicant has 90 days to submit the Final Landscape Plan to the Design Review Committee for approval. All improvements approved on the Final Landscape Plan must be installed no later than 180 days following approval of the Final Landscape Plan or next planting season whichever comes first.

**Building Permit:**

Upon approval of the Construction Drawing submittal by the Design Review Committee, you must obtain a Building Permit from Castle Rock. Owners are advised that Castle Rock may have certain additional building restrictions and submittal requirements, which will have to be met before issuance of a Building Permit.

**On-Site Inspections:**

During construction of your residence, Castle Rock inspections and Committee inspections will be conducted. It is the responsibility of the Owner to ensure that construction conforms to the plans and all applicable building codes.

**Project Completion Review:**

To ensure that the residence is consistent and in accordance with the Construction Drawing submittal, a Project Completion Review will be required. You should inform the Secretary of the Committee within 10 days of Castle Rock Certificate of Occupancy inspection that a Project Completion Review is requested. The Committee will respond within 14 days of receipt regarding the conformance or non-conformance of the residence and site construction. The \$500.00 deposit submitted will be refunded after compliance with Construction Drawing submittal is established.

**Changes in Plans or Materials:**

All development shall conform to the following:

- The Timber Canyon Design Guidelines
- The Timber Canyon Declaration of Covenants, Conditions and Restrictions
- All applicable Castle Rock Ordinances, Regulations and Codes
- Applicable Local, State and Federal Codes and Regulations

**Governing Regulations:**

All development shall conform with the following.

- The Timber Canyon Design Guidelines.
- The Timber Canyon Declaration of Covenants, Conditions and Restrictions.
- All applicable Castle Rock Ordinances, Regulations and Codes.
- Applicable Local, State and Federal Codes and Regulations.

**Construction Regulations****General:**

In order to ensure that sites will not be irreparably damaged during the period a residence is being built, the following construction regulations shall be enforced during the construction period. These regulations shall be a part of the construction contract document specifications for each residence, and all contractors and Owners shall abide by these regulations.

The Owner or contractor shall provide the Secretary of the Design Review Committee, as part of the construction drawing submittal, a detailed plan showing how the site will be protected and the area in which all construction activity will be confined prior to construction. This plan shall include size and location of construction material storage, limits of excavation, drive areas, parking, chemical toilet location, temporary structures (if any), dumpsters, storage of debris, fire extinguisher, utility trenching and construction sign. This plan should also identify the methods for protection, such as snow fencing, flagging, rope barricades or other means to be set up prior to construction.

**Improvement Survey:**

After the foundations have been poured, a licensed surveyor is required to make a site inspection to certify that all improvements are located within the home-site's Building Envelope and that they match all approved plans.

**Construction Access:**

The only approved construction access during the time a residence is being built will be over the approved driveway for the site unless the Committee approves an alternative access point.

**Construction Trailers & Temporary Structures:**

Temporary structures must be located on the site and must be approved by the Committee for size, configuration and location. All temporary structures shall be removed after the issuance of the certificate of occupancy. Temporary construction trailers are limited to 150 square feet in size.

**Material & Equipment Storage:**

Storage areas shall be designated and fenced according to the approved construction area plan prior to construction. The contractor will be responsible for the daily maintenance of these areas.

**Daily Operations:**

Daily working hours for each construction site shall be 7:00 a.m. to 8:00 p.m., Monday thru Saturday, unless otherwise restricted by the Design Review Committee.



**Blasting & Explosives:**

Any plans to blast shall be brought to the attention of and approved by the Secretary of the Committee before commencement. Proper safety and protective actions shall be used.

**Restoration & Repair:**

Damage to any property other than the Owner's, by contractor shall be promptly repaired at the expense of the Owner employing the person or entity causing the damage. (This includes damage created by cleaning out concrete trucks on-site.)

**Dust & Noise Control:**

Every effort shall be made to control dust and noise emitted from a construction area. The contractor shall be responsible for controlling excessive dust, debris and noise from the site. The playing of radios or use of other audio equipment by construction crews is prohibited.

**Excavations:**

Excess excavation material shall be removed from Timber Canyon. The materials shall not be placed in common areas, roads or other properties. Excavation, except for utility trenching, shall be done on the site only.

**Debris & Trash Removal:**

Proper disposal of refuse and storage of materials and debris is the sole responsibility of the Owner and Contractor. Debris and trash shall be removed regularly as required, and hauled to a designated dumpsite outside Timber Canyon. Visible debris beyond the top edge of any dumpster will not be permitted. The Owner and Contractor will take all necessary precautions to prevent debris and/or material from blowing off the site. All dumpsters or trash enclosures shall be covered daily following construction activities.

**Construction Vehicles & Parking:**

All vehicles will be parked so as not to inhibit traffic, and within the designated construction areas so as not to damage the natural landscape. Changing oil in vehicles and equipment without proper receptacles and removal procedures is forbidden.

**Portable Toilets:**

Portable toilets shall be provided by the contractor and placed in an approved location.

**Fire Protection:**

A minimum of one serviceable 1016 ABC-rated dry chemical fire extinguisher shall be located on each construction site in a conspicuous location.

**Pets:**

Contractors, subcontractors and their employees are prohibited from bringing dogs and other pets to the construction site.

**Utilities:**

Utilities should be designed and constructed for the most intensive use that can reasonably be foreseen. All utilities should be buried. Water and sewer piping must be allocated in different trenches, with separation distances as required by Castle Rock. Power, gas, telephone and television cable may be in common trenches with other current installation standards. In order to avoid damage from the rocky subsoil of the area, all pipes and wiring (including wiring in

conduit) should be bedded over and under with at least 4 inches of sand or pea gravel. No pipe or wire should be installed directly above another; at least 18 inches horizontal offset should be provided.

Location tape shall be provided above all buried utilities, at a depth of approximately one-foot. Location tape above non-metallic piping should be magnetically detectable. A separate location tape should be provided for each pipe or wire even if installed in a common trench. Accurate as-built drawings should be prepared by all developers to tie the locations of all utilities to permanent reference points. Copies of the drawings should be submitted to the governing utility or regulatory agency upon completion of construction.

## Appendix:

### Appendix A: Glossary

Unless the context otherwise specifies or requires, use of the following words or phrases when used in these Design Guidelines shall have the following meanings:

- **Architect-** A person licensed by the State of Colorado to practice Architecture.
- **Association-** The term Association shall mean and refer to the Timber Canyon Homeowners Association, a Colorado non-profit mutual benefit corporation, its successors and assigns.
- **Board-**The term Board shall mean the Board of Directors of the Association.
- **Building Envelope-** The portion of a home-site which encompasses the area within which building may occur subject to the Design Guidelines and as delineated on the plat.
- **Contractor-** A person or entity engaged by an Owner for the purpose of constructing any improvement within the Project. The Contractor and Owner may be the same person or entity.
- **Declarant-** The term Declarant shall mean and refer to a Colorado corporation, its successors and assigns. The Declarant is also referred to as the Developer.
- **Design Guidelines-** The restrictions, review procedures and construction regulations adopted and enforced by the Design Review Committee as set forth in this document and as amended from time to time by the Committee.
- **Design Review Committee-** (The Committee) The Committee appointed by the Declarant or the Timber Canyon Association as described in the Covenants, Conditions and Restrictions (CC&R's) as the Committee. The Committee shall review and either approve or disapprove proposals and/or plans and specifications, construction, exterior additions, landscaping or changes and alterations within Timber Canyon.
- **Excavation-** Any disturbance of the surface of the land) except to the extent reasonably necessary for planting of approved vegetation), including any trenching which results in the removal of earth, rock or other substance from a depth or more than 12 inches below the natural surface of the land or any grading of the surface.
- **Fill-**Any addition of earth, rock, or other material to the surface of the land, which increases the natural elevation of such surface.

- **Home Site-** The term Home-site shall be those parcels of land, together with any appurtenances, described as Home-sites on the subdivision plat.
- **Improvement-** Every structure or improvement of any kind, including, without limitation, buildings, fences, walls, trees, hedges, plantings, poles, driveway, parking areas, loading areas, ponds, lakes, recreational facilities, signs, changes in any exterior color or shape, and site work (such as, without limitations, excavation, grading, road construction utility improvements, and removal of trees or plantings). Improvement does not include turf, shrub, or tree maintenance or replacement. Improvement does not include both new construction and any subsequent exterior improvements.
- **Member-** The term Member shall mean and refer to every person or entity that is an Owner, as defined below. Membership shall be appurtenant to any, and may not be separated from ownership of any Home-site.
- **Natural Area-** That portion of the Home-site, which lies outside of the Building Envelope.
- **Owner-** The term Owner shall mean the record Owner of any Home-site or Home-sites as shown on the official records of Castle Rock, Colorado Recorder. The Owner may act through an agent provided that such agent is authorized in writing to act in such capacity.
- **Residence-** The building or buildings, including any garage, or other accessory building, used for residential purposes constructed on a Home-site, and any improvements constructed in connection therewith.
- **Xeriscape-** A method of landscaping, specifically utilizing native, drought tolerant, low maintenance plants and shrubs that once established, will thrive with local rainfall amounts.

**Appendix B: Home Design Review and Process**

**Home Design Review And Process**

**July 26, 2001**  
(Revised October 22, 2002)

**From the  
Design Review Committee  
Of The  
Timber Canyon  
At Metzler Ranch**

The following is an outline of both the design and construction review process. Please refer to this information and Design Standards and Guidelines, The Timber Canyon, when preparing a design submittal. Contact the Design Review Administrator if assistance is required in completing this process.

**For information, contact Don Bosson, Design Review Administrator,  
(303) 799-6194 x218**

Brookwood LLC  
56 Inverness Court East, Suite 105, Englewood, CO 80112  
Fax (303) 799-6473

**The publication is designed to assist in the development process. It is not intended as a substitute for or a change to the requirements set forth in the Codes, Covenants, and Restrictions of Timber Canyon North or Castle Rock, the County of Douglas, or any other governmental entity.**

## **I. SUMMARY LIST OF REVIEW AND PROCESS STEPS**

- Step 1 Pre-Design Conference (Optional)
- Step 2 Conceptual Design (See Appendix H for fee schedule)
- Step 3 Design Development (May be combined with Step 2)
- Step 4 Construction Document Submittal (May be combined with Step 3)
- Step 5 Pre-construction Conference (optional)
- Step 6 Compliance Review

Note: Where a step is listed as "optional" or "may be combined," the omission or combining is done at the applicants own risk.

## **II. DESIGN REVIEW COMMITTEE (D.R.C.) SUBMITTAL PROCESS**

### **A. GENERAL NOTES - Applicable for all Submissions and Approval Processing**

1. All drawings submitted to the D.R.C shall be legible, accurate and of reasonable graphic quality. All drawings and other submission materials must include the following information as applicable for the type of document: Owner/Applicant's name; project name, if applicable, the Lot Number; map title, legend, sheet number, the preparer's name, address and phone; the date of the initial preparation and subsequent revision dates; written and graphic scale, contour elevations and interval; and north arrow.
2. All submittals must meet the requirements of the D.R.C. Any of the Design Review submittals may be combined to expedite the process, however, the applicants acknowledge that they proceed at their own risk. It is the Applicant's responsibility to confirm that all applicable requirements are met throughout the review and approval process.
3. Plan approvals by the Timber Canyon Design Review Committee are valid for two years from the time of final approval of Construction Documents. If construction of the approved residence has not begun in this time frame, the Design Review process and applicable fees must be initiated again even if no changes in design are made.

**NOTE:** The Design Review Administrator or Landscape Planning Director will visit all construction sites to insure construction conformance, as well as compliance with the rules and regulations. Contact Don Bosson at the HOA, initially Brookwood LLC, the initial HOA, at any time that assistance is needed. (303-799-6194 x237)

Construction of a home should be completed within twelve (12) months from the date the Douglas County Building-Permit is issued. In cases of extenuating circumstances or unforeseen problems, the Owner may **request** an extension from the Timber Canyon Design Review Committee (D.R.C.).

## **Step 1 PRE-DESIGN CONFERENCE (Optional)**

A pre-design conference is suggested for each lot. The Timber Canyon Design Review Committee staff is available upon request for lot owner(s), prospective lot owner(s) or owner's representative(s) to discuss the following:

1. Massing and building profile
2. Building footprint size and location
3. Setbacks and easements
4. Defensible space (CO. State Forest Service Fire Mitigation and Douglas County Building Departments requirements)
5. Tree Preservation and Natural vegetation/habitat protection
6. The philosophy behind planning in Timber Canyon
7. Site Planning: Drainage Certification Plan (as required by Douglas County), topography and grading, access, work staging (storage, parking, soil displacement)
8. Landscape planning: erosion control, restoration requirements, plan/site development procedures
9. Timber Canyon Exterior Lighting Policy
10. Design Review submittal requirements and process
11. Construction rules and regulations
12. Sewage lift stations on designated lots

## **Step 2 CONCEPTUAL DESIGN**

This submittal shall be accompanied by a completed application and the design review fees. Applicant will contact the Design Review Administrator to schedule an appointment with the DRC. Two (2) copies of the following are required (one will be retained by the committee and one returned to applicant with comments):

**A. Architectural Site Survey** of subject property prepared at a scale of 1" = 10', or 1/8" = 1'0" on a 24x36" sheet. Minimum indications shall include:

1. Contour intervals at no greater than 2 foot-0 inches (tied to U.S.G.S. datum).
2. Topographical information to extend a minimum of 10 feet beyond lot boundary line and to include any pertinent data beyond 10 feet, if applicable.
3. Location of platted building envelope.
4. Evergreen trees and gamble oak masses within 20' of the house, drive, and garage, will have their caliper and base elevation noted at their exact location. Accuracy of topography of tree location is critical, as this information will be the basis, not only for the design, but also for the D.R.C.'s plan evaluation, approval, inspections, and enforcement. All tree locations and site grades pertinent to proposed construction and existing vegetation to be field verified, and noted on the site plan.
5. Locate all existing site improvements, easements, rights-of-way, utilities, utility cabinets, sewer service location with invert elevation, water service location, etc.

**Please note:** All Architectural Site Surveys shall bear the seal and signature of a Professional Land Surveyor, registered in the State of Colorado. Approval of submitted documents by the D.R.C. will not be granted prior to receipt of print of survey with surveyor's seal. Elevations shall be tied to US Geological Survey datum.

**B. Conceptual Site Plan prepared at 1/8" = 1'0" or 1"=10' scale using the Architectural Site Survey as a base.**

1. Building Footprint with setbacks and approximate elevations for lower level, first floor, and garage.
2. Preliminary grading plan with indication of drainage.
3. Proposed driveway access alignment.
4. Preliminary retaining, or screening walls.
5. Any additional or required trees to be planted or transplanted, i.e. for screening, augmentation\*, enhancement, etc.
6. Existing trees, including those in the building footprint.
7. Existing shrub masses i.e. gambel oak.

**C. Conceptual Architectural Plans at 1/8" or 1/4" = 1'0" scale, prepared using the Architectural Site Survey as a base.**

1. Preliminary floor plan(s).
2. Preliminary building elevations; all four exposures.  
(NOTE: A minimum of 25% masonry on any elevation, except as permitted in section B,4,C on page 15 of Design Standards and Guidelines.)

**Please Note:** One copy of the plans shall be retained for the DRC files. The second copy will be returned to the applicant with any applicable Design Review notes, comments, and revisions. **This set of red line plans shall be brought to the next level of review for reference and illustration of any revisions.**

### **Step 3 DESIGN DEVELOPMENT**

Two copies of each of the following documents are required (The red-lined copy of the previous submittal for reference is also required):

**A. Site Plan** showing the following items listed below:

1. Proposed permanent residential access route.
2. The shrub masses and trees that are to be removed, transplanted or saved and the preservation methods to be used.
3. Project benchmark, to be located outside area of potential disturbance and set by a permanent pin and marked by a painted and flagged rebar or T post. Elevations noted permanently on construction site plan and on pin.
4. Major site improvements i.e., retaining walls, terraces, and hot tubs or swimming pools, etc.
5. Mail box location.



**B. Building Plans:** hard-line drawings, showing complete floor plans, elevations, and building sections at 1/4" scale, per requirements of Castle Rock Building Department. Plans also to indicate final foundation and floor elevations. Building elevations shall indicate percentage of masonry calculated per guidelines. ←

**C. Preliminary Landscape Plans** (optional) prepared at same scale as architectural site plan and shall show all items previously indicated on the Conceptual Site Plan, plus the following items:

1. Final grading plan
2. Proposed site improvements
  - a) Exterior living spaces: decks, patios, terraces, walkways, motor court/drive, and garden structures.
  - b) Proposed retaining walls, type of material, top and base elevations.
3. Existing plant/tree locations and species.
4. Location, extent and proposed treatment of disturbed and/or revegetation areas.
5. Specific planting requirements, if requested by the D. R. C., at conceptual level.
6. Mailbox post location.
7. Exterior lighting plan.
8. Location and type of turf areas
9. Location and type of mulch and edging
10. Proposed plant (overstory, shrubs and groundcovers) locations and species
11. Plant list of all proposed species: common and Latin names, quantities and sizes for each. Identify turf and revegetation areas; specify seed mixes and application rates.
12. Soil preparation specifications for revegetation of grass, turf and/or other areas.
13. Design, layout, materials and treatment of outdoor seating areas, walls, fences, ponds and other proposed landscape structures and improvements.
14. Design and layout of special areas such as vegetable gardens, play sets, or dog runs.
15. Locate tree preservation areas, if applicable.

**D. Drainage, Sediment and Erosion Control Plan** shall be prepared in accordance with the requirements set forth by Douglas County.

**E. Exterior Color and Material Board** of all exterior materials and colors (refer to the Timber Canyon D.R.C. requirements).

1. Display on 18"x24" Board with a separate typed information/spec sheet attached to the back and another copy for the DRC. Files specifying the manufacturer, brand name, color code, grade, texture, and any other pertinent data for each material, i.e. roof, stone, stucco, window, trim, fascia, garage doors, railing, etc.
2. Material samples should be no smaller than 4 "x4 " to show texture, finish and color on **actual material**.
3. Print of Front Elevation of the residence should be on the board and colored. Note the DRC will retain the color board until the project has received final construction approval.

F. **Lighting Product Literature** of all exterior lighting fixtures to be used (cut sheets) and their proposed locations. Please refer to the Timber Canyon Exterior Lighting Policy for current information.

#### **Step 4 CONSTRUCTION DOCUMENT SUBMITTAL**

Two copies of each of the following documents are required. (Redlined copy of the previous submittal for reference is also required at meeting):

##### **A. Architectural working drawings including**

1. The final site plan is to be attached as a cover sheet.
2. Foundation plans
3. A complete set of plans per Castle Rock Building Department's requirements.
4. Electrical plans
5. Certified drainage report per Douglas County requirements.
6. 50<sup>th</sup> scale site plan on clear acetate.
7. Landscape Plan (optional)
8. Upon confirmation of the Construction Site Plan and required documents, the Design Review Administrator will issue a letter to the Castle Rock Building Department authorizing approval for the release of the building permit.

**NOTE:** After Construction Documents have been approved, any changes of the exterior appearance, materials, fenestration, grading, or existing vegetation must be submitted for review and approval by the Design Review Committee. All discrepancies from approved plans must be re-approved/corrected before a Certificate of Occupancy letter will be issued. If discrepancies from approved plans are discovered, corrections will be required prior to re-inspection. It shall be the responsibility of the builder to notify the Design Review Committee when corrections are completed.

#### **Step 5 PRE-CONSTRUCTION CONFERENCE AND ON-SITE STAKING REVIEW (optional)**

1. No disturbance to the site may occur prior to the issuance of the building permit without the prior written approval of the Design Review Committee.
2. All required plans and documents must be approved and on file with the Design Review Administrator. They include:
  - a) The Timber Canyon Design Review Committee approved construction site plan and verification of the project benchmark.
  - b) A drainage report sealed by a **Registered Professional Engineer**.
  - c) Defensible Space Assessment per Douglas County.
  - d) Preliminary Landscape Plan (optional).

3. All trees and oak that are to be pruned as designated by the Colorado Forest Service shall be done after site staking approval. All debris and slash shall be removed from the site at this time.
4. The owner/builder shall meet with the DRC staff to assure that
  - a) all Defensible space work has been completed
  - b) All trees and shrubs on the property that could be impacted by site construction are protected 5' past their drip line by snow fencing and hay bales as appropriate.
  - c) The site plan "line of disturbance" must be fenced to avoid encroachment into native natural areas beyond the building site.
  - d) All erosion control methods must be installed and remain throughout the construction period.
5. Applicant/Builder will be required to sign Design Review Application and agreement.
6. All fees shall be paid prior to the release of a building permit and approval letter by the DRC.
7. The contractor will be furnished Timber Canyon building information, including the Contractor Rules and Regulations. It is the responsibility of the contractor and owner to ensure that all subcontractors and material suppliers follow the rules and regulations.

#### **Step 6 COMPLIANCE REVIEW**

The Design Review Administrator will execute a letter to the Castle Rock Building Department authorizing the release of a Certificate of Occupancy (C.O.) upon completion of the project per approved building plans, the Construction Site Plan, and specifications including:

1. Exterior material sample board.
2. Exterior lighting cut sheets.
3. Final grading.
4. Drainage certification.
5. Site cleanup.
6. Final Approved Landscape Plan (optional).

Subsequent to the issuance of the Certificate of Occupancy, all requirements and regulations as established under the Covenants shall come under the authority of the Timber Canyon.

**The Design Review Committee reserves the right to change this procedure at any time. It is therefore important to make sure you have the most current copy of the Process.**

## Appendix C: TIMBER CANYON DESIGN REVIEW APPLICATION

**OWNER/BUILDER:** \_\_\_\_\_  
**ADDRESS:** \_\_\_\_\_  
**TELEPHONE:** \_\_\_\_\_ **FAX:** \_\_\_\_\_  
**ARCHITECT/DESIGNER:** \_\_\_\_\_  
**ADDRESS:** \_\_\_\_\_  
**TELEPHONE:** \_\_\_\_\_ **FAX:** \_\_\_\_\_  
**REQUEST FOR:** \_\_\_\_\_  
\_\_\_\_\_ New Home  
\_\_\_\_\_ Remodel/Addition  
\_\_\_\_\_ Landscape Design  
\_\_\_\_\_ Color/Material Change  
\_\_\_\_\_ Other: \_\_\_\_\_

### ACKNOWLEDGEMENT OF AUTHORITY OF DESIGN REVIEW COMMITTEE

The signature below by applicant acknowledges their receipt, review and acceptance of all terms and conditions presented in:

1. The Official Development Plan for Timber Canyon
2. The Declaration of Covenants, Conditions, and Restriction
3. The Final Plat for Timber Canyon
4. The Home Design Review and Process from the Design Review Committee of Timber Canyon

The Applicant also acknowledges Timber Canyon Committee's authority and responsibility to:

1. Stop any work in violation of the procedures defined in the above referenced documents.
2. Stop any work not in compliance with the approved submittal documents.
3. Require correction and/or removal of any non-complying work at Owner/Builder's expense.

Neither the Design Committee nor any members thereof, now the Foundation nor the members of the Board of Directors of the Home Owners Association, their respective heirs, successors or assigns, shall be held liable for damages to anyone submitting plans to them for approval, or to any owner affected by the amended Declaration or by reason of mistake in judgment, negligence or failure to approve such plans and specifications. The actions of Timber Canyon or its Design Committee are not intended to replace the Declaration of Restrictions, Covenants and Conditions, whose provisions are governing, or of any requirements of The Town of Castle Rock.

Every owner or other person, who submits plans to the Design Committee for approval, agrees by submission of such plans and specifications, that he will not bring any action or suit against the Design Committee, its members, or Timber Canyon.

Date \_\_\_\_\_  
Owner / Builder \_\_\_\_\_

**Appendix D:**

**TIMBER CANYON DESIGN REVIEW COMMITTEE CHECK LIST**

**Meeting Date** \_\_\_\_\_

**Lot #** \_\_\_\_\_

**Address** \_\_\_\_\_

**Applicant** \_\_\_\_\_

**ACTION TAKEN:** \_\_\_\_\_ Conceptual  
 \_\_\_\_\_ Design Development  
 \_\_\_\_\_ Construction Documents  
 \_\_\_\_\_ Landscape  
 \_\_\_\_\_ Other \_\_\_\_\_

\_\_\_\_\_ Approved as Presented

\_\_\_\_\_ Denied

\_\_\_\_\_ Approved with Conditions and Suggestions

\_\_\_\_\_ Tabled

**ACTION REQUIRED:**

\_\_\_\_\_ Resubmit for Approval

\_\_\_\_\_ Staff

\_\_\_\_\_ Committee

\_\_\_\_\_ Site Plan

\_\_\_\_\_ Architectural Elevations

\_\_\_\_\_ Color Board

\_\_\_\_\_ Landscape

\_\_\_\_\_ Miscellaneous \_\_\_\_\_

**SITE PLAN:**

\_\_\_\_\_ Setbacks

\_\_\_\_\_ Easements

\_\_\_\_\_ Sealed Survey

\_\_\_\_\_ Drainage

\_\_\_\_\_ Grading Plan

\_\_\_\_\_ Retaining Walls (Dimension)

\_\_\_\_\_ 3:1 Slope or Retain

\_\_\_\_\_ Site Access

\_\_\_\_\_ Trees/Vegetation

(Saved, Relocated, Removed) \_\_\_\_\_

\_\_\_\_\_ Caliper of Trees

\_\_\_\_\_ Additional Comments

**Timber Canyon Design Review Committee Check List**

Meeting Date \_\_\_\_\_

Lot # \_\_\_\_\_

**ARCHITECTURAL DESIGN:**

- \_\_\_\_\_ Front Elevation
- \_\_\_\_\_ Rear Elevation
- \_\_\_\_\_ Side Elevations
- \_\_\_\_\_ Massing
- \_\_\_\_\_ Building Height
- \_\_\_\_\_ Fenestration
- \_\_\_\_\_ Entry Design
- \_\_\_\_\_ Roof Pitch/Design
- \_\_\_\_\_ Driveway Material
- \_\_\_\_\_ Chimney Cap Enclosures
- \_\_\_\_\_ Railing Detail
- \_\_\_\_\_ Design Compatibility/Site
- \_\_\_\_\_ Design Guideline Compliance
- \_\_\_\_\_ Additional Comments

**COLOR BOARD:**

- \_\_\_\_\_ Roof
- \_\_\_\_\_ Exterior Wall Finishes
- \_\_\_\_\_ Windows
- \_\_\_\_\_ Trim
- \_\_\_\_\_ Soffit/Fascia
- \_\_\_\_\_ Garage Doors
- \_\_\_\_\_ Entry Door
- \_\_\_\_\_ Corner Boards
- \_\_\_\_\_ Exterior Lighting Fixtures
- \_\_\_\_\_ Actual Glass Sample Required
- \_\_\_\_\_ Railing
- \_\_\_\_\_ Downspouts
- \_\_\_\_\_ Typed Spec Sheet
- \_\_\_\_\_ Cutsheets
- \_\_\_\_\_ Samples on Actual Material
- \_\_\_\_\_ Additional Comments

Page 39 not used

## Appendix E: Recommended Plant Material List

### Deciduous Trees:

Bur Oak  
Green Ash  
Quaking Aspen  
Narrowleaf Cottonwood  
Canada Choke Cherry  
Hackberry  
Amur Maple  
Rocky Mountain Maple  
Select Hawthorne Species

### Evergreen Trees:

Colorado Blue Spruce  
White Fir  
Douglas Fir  
Ponderosa Pine  
Piñon Pine

### Evergreen Shrubs:

Broadmoor Juniper  
Buffalo Juniper  
Common Mountain Juniper  
Rocky Mountain Juniper  
Mugho Pine

### Ground Covers, Vines

#### & Perennials:

Plains Aster  
Prairie Aster  
Bee-Balm  
Black-Eyed Susan  
Blanket Flower  
Purple Prairie Clover  
White Prairie Clover  
Blue Columbine  
Red Columbine  
Yellow Columbine

### Deciduous Shrubs:

River Birch  
Silver Buffaloberry  
Red Chokeberry  
Black Chokeberry  
Western Sand Cherry  
Native Chokecherry  
Alpine Currant  
Golden Currant  
Squaw Currant  
Redtwig Dogwood  
New Mexico Locust  
Mountain Mahogany  
Nannyberry  
Dwarf Ninebark  
Mountain Ninebark  
Gambel Oak  
Mountain Privet  
New Mexico Privet  
Selected Potentilla Species  
Rabbit Brush  
Boulder Raspberry  
Native Pink Rose  
Prickly Rose  
Selected Sage Species  
Serviceberry  
Mountain Snowberry  
Rock Spirea  
Threeleaf Sumac  
Selected Sumac Species  
Twinberry  
Thinleaf Alder  
Selected Viburnum Species  
Bluestem Willow  
Dwarf Arctic Willow  
Slender Willow  
Yucca

**Ground Covers, Vines  
& Perennials**

Chiming Balls  
Prairie Coneflower  
Purple Coneflower  
Plains Coreopsis  
Virginia Creeper  
Blue Clematis  
Aspen Daisy  
Ox-Eye Daisy  
Blue Flax  
Wild Geranium  
Dotted Gayfeather  
Wild Grape

Wild Hops  
Kinnikinnick  
Lupine  
Creeping Mahonia  
Firecracker Pentstemon  
Rocky Mountain Pentstemon  
Sidebells Pentstemon  
Creeping Potentilla  
Fringed Sage  
Wild Strawberry  
Purple Leaf Wintercreeper  
Common Yarrow



## Appendix F: Seed Mixtures

Listed below are proven native grass seed mixes suggested for the foothill area of Timber Canyon. These mixes are available locally at Rocky Mountain Seed Company, 1325 15<sup>th</sup> Street, Denver, CO (303) 623-6223 and Arkansas Valley Seeds, 4625 Colorado Blvd., Denver CO (303) 320-7500.

### Custom Native Grass Mixture: (Mid-Height)

This mixture includes drought-tolerant native grasses suited to portions of large lots or common areas where a “natural” look is required. Annual mowing in the fall or spring is acceptable but not required. The mix can be used for non-irrigated sites, but some watering is beneficial during establishment and prolonged drought. Maximum height is two feet. Plant at a rate of 1.2 pounds of pure live seeds (PLS) per 1,000 square feet (52 lbs/acre) if irrigated, or half that rate if not.

| <u>Species</u>     | <u>% of Seeds</u> | <u>% by Weight</u> | <u>Season</u> |
|--------------------|-------------------|--------------------|---------------|
| Slender Wheatgrass | 15                | 20                 | Cool          |
| Western Wheatgrass | 15                | 30                 | Cool          |
| Canby Bluegrass    | 20                | 5                  | Cool          |
| Side-oats Grama    | 25                | 25                 | Warm          |
| Little Bluestem    | 25                | 20                 | Warm          |

Note: Wildflowers can be added to this mix. Suggested species include blanketflower, purple coneflower, prairie coneflower, plains coreopsis, prairie aster, black-eyed susan, showy golden-eye, dotted gayfeather, blue flax, wild geranium, scarlet gilis, prairie clover, lupine, golden banner, American vetch and pentstemons.

### Custom Native Grass Mixture: (Low-Height)

This mixture is similar to the mid-height mix in containing drought tolerant natives, but has a maximum height of one foot. All three species have blue-green foliage. Because of lower height and uniform color, this mix is ideal for informal, low-maintenance lawns in areas of limited foot traffic. Some irrigation is beneficial during establishment and drought. Occasional light mowing produces a neater appearance but is not required. Plant at 1.8 pounds PLS per 1,000 square feet (78 lbs/acre) if irrigated, or half that rate if not.

| <u>Species</u>        | <u>% of Seeds</u> | <u>% by Weight</u> | <u>Season</u> |
|-----------------------|-------------------|--------------------|---------------|
| Streambank Wheatgrass | 50                | 45                 | Cool          |
| Blue Gama             | 30                | 5                  | Warm          |
| Buffalograss          | 20                | 50                 | Warm          |

Note: Wildflowers are not recommended with this mix due to their non-uniform height, and are not compatible with mowing and the use of herbicides for weed control.

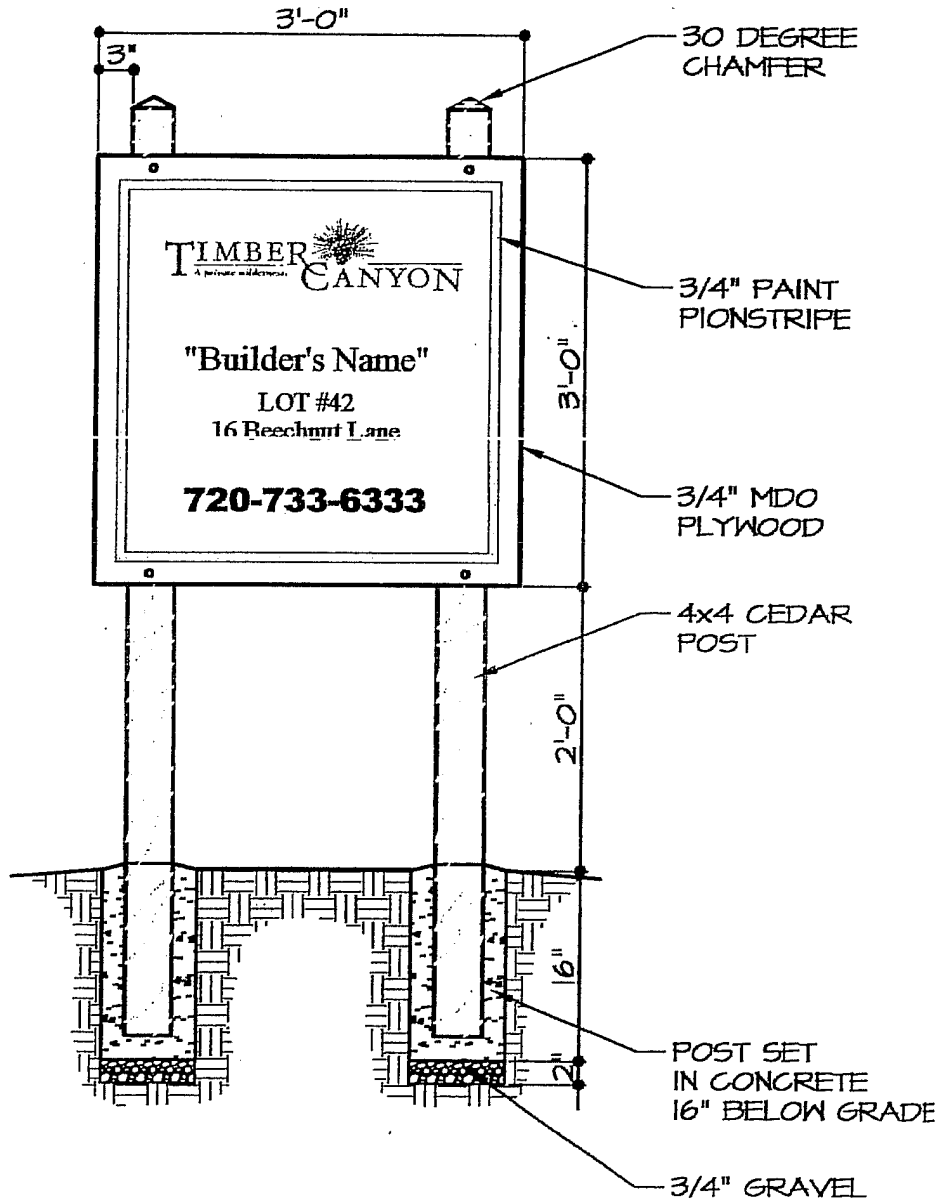
**Non-Native Low Grow Mix:**

This mix is recommended where regular foot traffic or recreational use will occur, such as around houses. This mixture will produce a more uniform color and texture. Regular irrigation is required during summer, but less so than for standard bluegrass lawns. Mowing is required for optimum appearance and performance. Plant at 0.8 pounds PLS per 1,000 square feet (35 lbs/acre).

| <u>Species</u>      | <u>% of Seeds</u> | <u>% of Weight</u> | <u>Season</u> |
|---------------------|-------------------|--------------------|---------------|
| Perennial Ryegrass  | 7                 | 25                 | Cool          |
| Improved Bluegrass  | 63                | 25                 | Cool          |
| Creeping Red Fescue | 15                | 25                 | Cool          |
| Chewings Fescue     | 15                | 25                 | Cool          |

Note: The differences between the % of seeds and % by weight is due to the variability among species in the number of seeds per pound, ranging from 56,000 for Buffalograss to 2.5 million for Kentucky Bluegrass.

# Appendix G: Construction Signage



## Appendix H:

### APPLICATION FEES

Outlined below is the Timber Canyon Design Review Committee's fee schedule for architectural review and inspection within the subdivision, effective July 1, 2001.

- Architectural Plan Review and Inspection Fee for a New Residence (Based on 2, 3, or 4 Review meetings. Problem submissions requiring additional review sessions will be an additional \$250.00 per meeting.) \$ 750
- Review of modifications to approved plans prior to completion and occupancy \$ 175
- Plan Review and Inspection for Remodels, Additions And Redesigns to Existing Residences Exteriors \$ 500
- Refundable Deposit (at completion of construction) \$ 500
- Building Envelope or Design Guideline Change \$ 150
- Landscape Plan Review and Inspection Fee \$ 175

*Timber Canyon*

**APPLICATION FOR SCHEMATIC PLAN SUBMITTAL**

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_

Owner/Owner: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Architect: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

This application will be considered complete only if the following are submitted:

5 Copies of a written explanation of your design approach

5 Copies of a graphic explanation of the design concepts

.....  
A filing fee of \$750.00(non-refundable) and a \$500.00 refundable deposit (deposit per Appendix H) must be submitted at this time. Site staking of building corners, driveway and other improvements must be done at this time for the Committee approval.

FOR THE COMMITTEE USE ONLY:

Submittal Date: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Notice Date: \_\_\_\_\_

NOTICE TO OWNER:

Following your Schematic Plan Submittal, the Committee:

Approves your Schematic Plan

Approved your Schematic Plan with the following conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Disapproves your Schematic Plan for the following reasons and requires a revised submittal:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_

Note: Approval and compliance with conditions is a pre-condition to filing an application for Design Development Submittal.

*Timber Canyon*

**APPLICATION FOR CONSTRUCTION DRAWING SUBMITTAL**

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_

Owner/Owner: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Architect: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

This application will be considered complete only if the following are submitted:

5 Copies Of Each

(1) Site Plan (1" = 10'-0" minimum)

(2) Floor Plans and Roof Plan (1/4" = 1'-0" minimum)

(3) Exterior Elevations (1/4" = 1'-0" minimum)

(4) Building sections (1/4" = 1'-0" minimum)

(5) Landscape Plan (1" = 10'-0" minimum)

.....  
**FOR THE COMMITTEE USE ONLY:**

Submittal Date: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Site Inspection \_\_\_\_\_

Notice Date: \_\_\_\_\_

.....  
**NOTICE TO OWNER:**

Following your Design Development Submittal, the Committee:

( ) Approves your Design Development Plan

( ) Approved your Design Development Plan with the following conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

( ) Disapproves your Design Development Plan for the following reasons and requires a revised submittal:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_

Note: Approval and compliance with conditions is a pre-condition to filing an application for Design Development Plan Submittal.

*Timber Canyon*

**REQUEST FOR BUILDING ENVELOPE AND/OR SETBACK CHANGES**

Note: This request may require Castle Rock approval as well as the Design Review Committee approval.

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_

Owner/Owner: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Architect: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

This request will be considered complete only if the following are submitted:

5 Copies of a written explanation of your building envelope and/or setback plan change and a clear explanation of why the change is needed

5 Copies of a graphic explanation of the changes requested

.....

A non-refundable filing fee of \$150.00 must be submitted at this time.

.....

**FOR THE COMMITTEE USE ONLY:**

Submittal Date: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Notice Date: \_\_\_\_\_

.....

**NOTICE TO OWNER:**

Following your request for building envelope and/or setback changes, the Committee

Approves your request

Approves your request with the following conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signed: \_\_\_\_\_

*Timber Canyon*

**REQUEST FOR PROJECT COMPLETION REVIEW**

Date: \_\_\_\_\_ Homesite: \_\_\_\_\_

Requested by: \_\_\_\_\_ Phone: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Architect: \_\_\_\_\_ Phone: \_\_\_\_\_

Date of Occupancy Permit Inspection: \_\_\_\_\_

Notice Date: \_\_\_\_\_

**NOTICE TO OWNER:**

Following your request for Project Completion review, the Committee feels that your final building and site construction:

- ( ) Conforms to the plans and specifications approved in your final submittal.  
Please find enclosed your \$500.00 deposit.
  
- ( ) Does not conform to the plans and specifications approved in your final submittal.  
Additional inspections will be made for \$75.00 each.

Signed: \_\_\_\_\_



*Timber Canyon*

**REQUEST FOR PRE-DESIGN CONFERENCE**

Date: \_\_\_\_\_

Homesite: \_\_\_\_\_

Requested by: \_\_\_\_\_

Phone: \_\_\_\_\_

Owner: \_\_\_\_\_

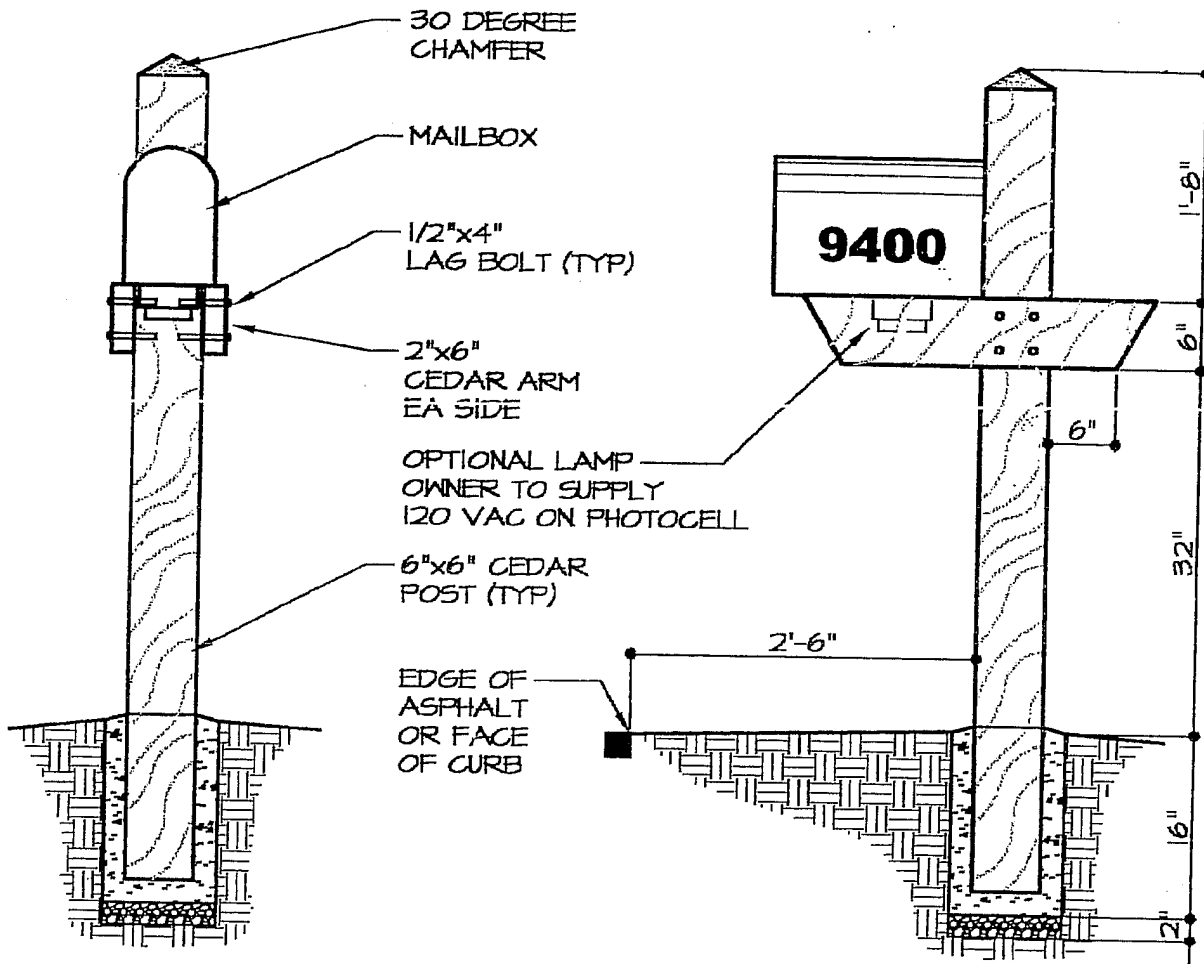
Phone: \_\_\_\_\_

Architect: \_\_\_\_\_

Phone: \_\_\_\_\_

Conference Date: \_\_\_\_\_ (Schedule and Notify)

# Appendix I: Mailbox/Address Monument



Appendix J: Open Rail Fence

